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BUILDER'S RESPONSIBILITY TO LAYOUT WORK

It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.

Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.

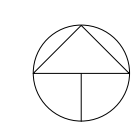
Written dimensions shall have precedence over scaled dimensions.

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REVISIONS

No.	Description	Date
3	ISSUED FOR DP SUBMISSION	2018 JUNE 14
4	ISSUED FOR DP SUBMISSION	2018 JUNE 18



PROJECT:
 LOT 16 BLOCK 147 PLAN VAP361 DIS TRICT LOT 264A NWD OF LOT D & PL 1 771
 2058 EAST 5TH AV
 VANCOUVER

DRAWING TITLE

SITE PLAN

Date	2018 JUNE 18	Project number	1737
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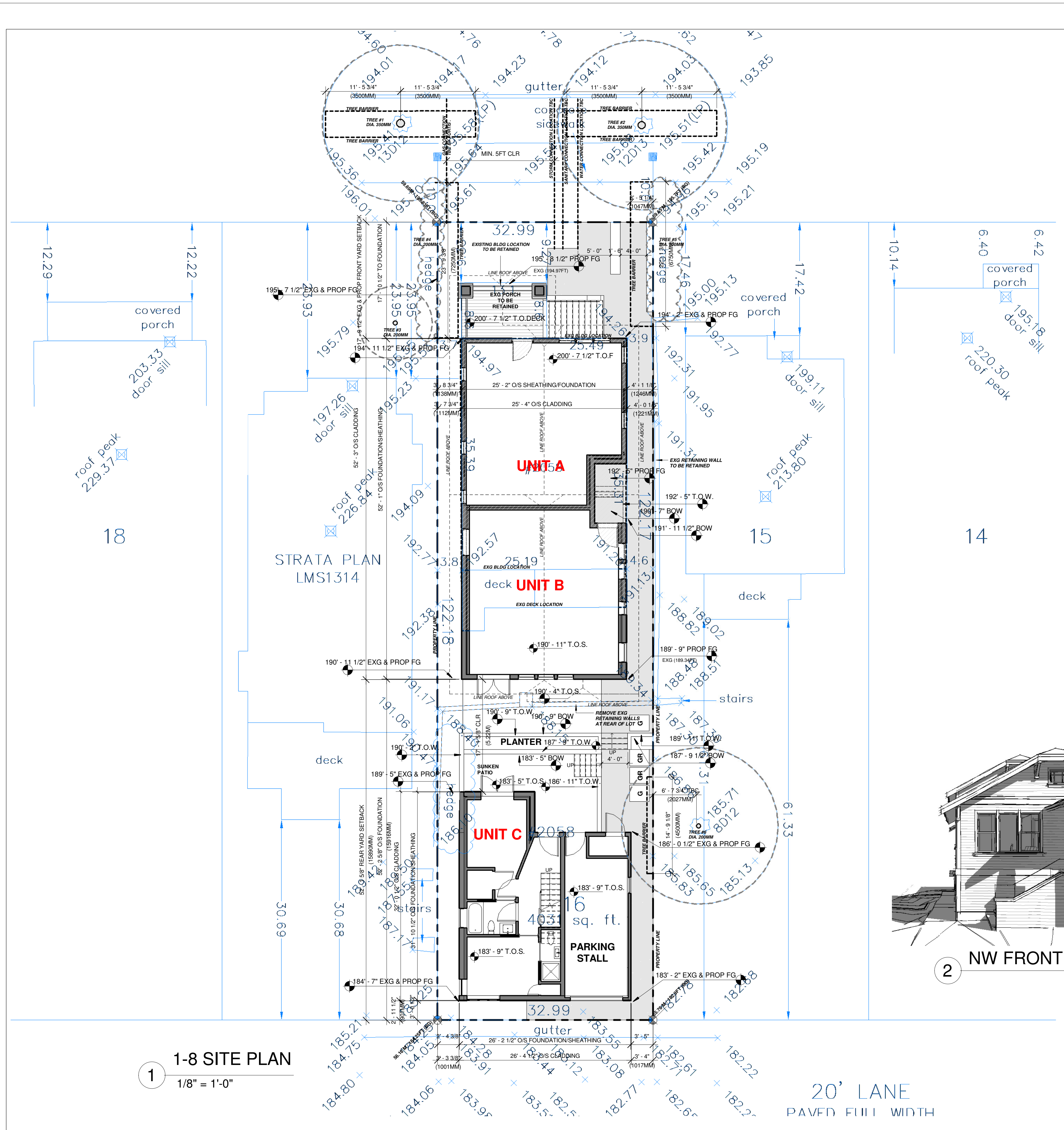
Scale
 1/8" = 1'-0"

Drawn by
 CK

Approved by
 CK

DP100

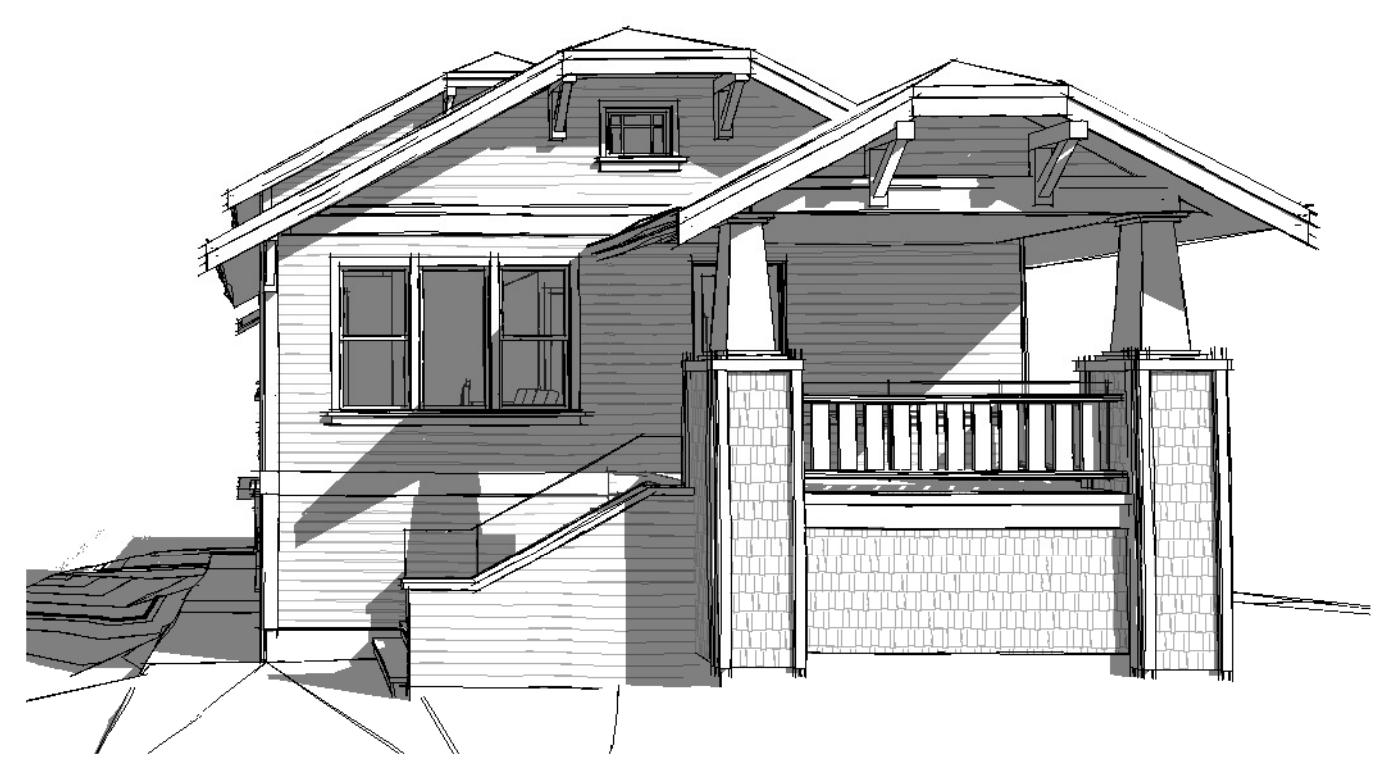
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1-8 SITE PLAN
 1/8" = 1'-0"

20' LANE
 PAVED FULL WIDTH

AREAS	PROJECT STATISTICS - ZONING: RT-5
	1. SITE AREA: 32.99 FT X 122.17 FT = 4031 SF
	2. FSR (EXISTING) : 0.46 = 1842SF 1842SF / 4031 SF = 0.46 FSR FSR PROPOSED: 0.85 = 4031 X 0.85 = 3426SF
	3. BUILDING AREAS: PROPOSED EXISTING RENOVATION (2 UNIT DWELLING) A. BASEMENT FLOOR: 1,294 SF MAIN FLOOR: 1,304 SF PROPOSED INFILL BUILDING (1 UNIT DWELLING) B. BASEMENT FLOOR: 492SF GROUND FLOOR: 438SF GROSS FLOOR AREA: 3528SF - 34SF-68.5SF = 3425.5SF
	4. SITE COVERAGE = MAX. ALLOWABLE 45% 1440SF+753SF=2193SF/4031SF=54.4% PROPOSED
SETBACKS	PRINCIPAL BUILDING (EXISTING)
	5. a) FRONT YARD (NORTH) SETBACK 17.79FT (EXISTING & PROPOSED) b) WEST SIDE SETBACK = 3.8FT (PROPOSED & EXISTING) c) EAST SIDE SETBACK = 3.93FT (PROPOSED & EXISTING) d) REAR SETBACK = 52.13FT (PROPOSED) 69.68FT (EXISTING)
HEIGHTS	PROPOSED HEIGHTS
	1. PRINCIPAL HOUSE: 32' - 7.5" (9.94M) PROPOSED 35'-1.25" (10.7 M) ALLOWABLE 2. INFILL BUILDING : 18' - 11.13" (5.77M) PROPOSED BLDG HEIGHT 19 FEET MAX. ALLOWABLE



2 NW FRONT VIEW

DRAWING LIST	
#	DESCRIPTION
DP100	SITE PLAN
DP101	STREETScape ANALYSIS & DESIGN RATIONALE
DP102	PERSPECTIVE MATERIALS & COLOURS
DP103	FSR OVERLAYS
DP104	EXISTING & DEMOLITION BUILDING PLANS & ELEVATIONS
DP105	RETENTION SCOPE OF WORK
DP201	PROPOSED BASEMENT & MAIN FLOORS (PRINCIPAL)
DP202	ROOF PLAN
DP301	FRONT & REAR ELEVATIONS
DP302	SIDE ELEVATIONS (PROPOSED)
DP310	HEIGHT CALCULATIONS - SIDE ELEVATIONS
DP311	HEIGHT CALCULATIONS - REAR & FRONT ELEVATIONS & INFILL
DP401	SECTIONS
DP501	INFILL FLOOR PLANS
DP502	INFILL ELEVATIONS
DP503	INFILL SECTIONS
DP701	PORCH DETAILS