

# 2043 COLLINGWOOD ST. RETENTION APPLICATION

CITY OF VANCOUVER / DEVELOPMENT REVIEW BRANCH  
RT-7 ZONING CHECK SHEET

Civic Address: 2043 Collingwood Street, Vancouver, B.C.  
Legal Description: Survey Plan of Lot B of Lots 7 and 8, Block 28, District Lot 540, Group 1, New Westminster District  
Applicant: Benjamin Yu and Priscilla Yu (Owner)  
Telephone: 604-719-8696 c/o John Ho (Agent)

**BASIC PROPERTY DATA**

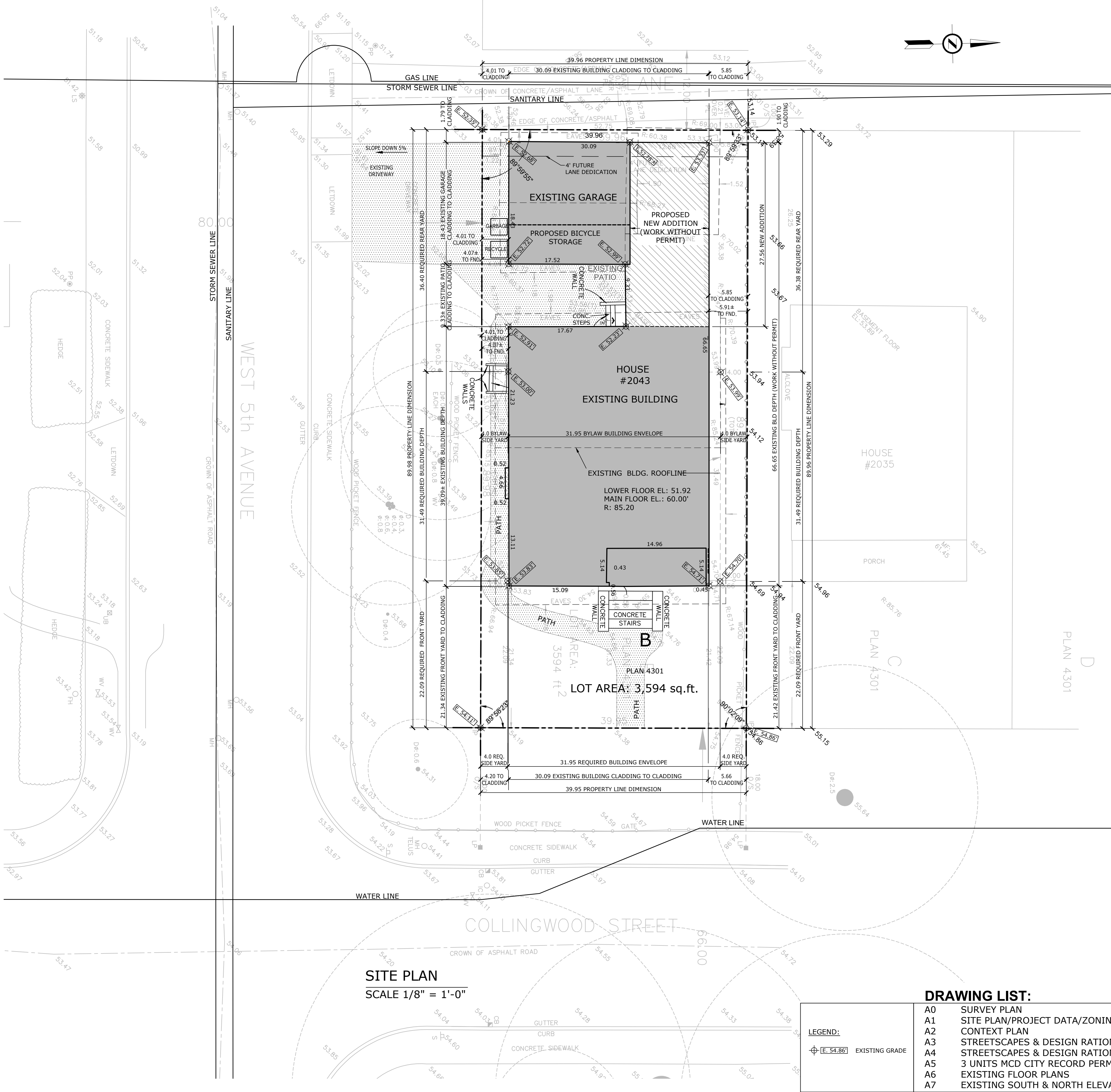
Lot Size and Area: 39.95 ft. X 89.97 ft. = 3,594 sq. ft.  
Zone: RT-7  
Lot location on block: Corner with lane  
Approximate date of construction of existing house: 1969  
Depth of basement floor below average existing grade: 53.86 ft. - 51.92 ft. = 1.94 ft.  
Height of main floor above average existing grade: 60.00 ft. - 53.86 ft. = 6.14 ft.  
Floor to ceiling height in basement: 6'-10 11/16"  
Lot size and zoning verified? Yes  
Does lot have secondary access? Yes  
Lane dedication required? Yes  
Does rear yard border directly on the front or side yard of another residential lot? Yes, but there is a lane in between  
Is property listed on Vancouver Heritage Inventory? No

**REQUIREMENTS AND RESTRICTIONS FOR "ACCESSORY BUILDING" (e.g. GARAGE/WORKSHOP) (for accessory Buildings at the rear of the lot only)**

	Existing	Proposed
<b>2 Outright Approval Uses</b>		
2.2.A(ii) Maximum Mean Height: Gable roof = 3.5 m = 11.48 ft. (with no part of roof exceeding 4.0 m = 13.12 ft.)	11.62 ft. (15.57 ft.)	11.62 ft. (15.57 ft.)
2.2.A(c) (i) Maximum Accessory Building Depth = 6.7 m = 21.98 ft. (ii) Minimum setback from ultimate rear property line = 3.1 m = 10.17 ft. Minimum setback from flanking street = 1.5 m = 4.92 ft.	20.22 ft. 7.79 ft. 4.01 ft.	20.22 ft. 7.79 ft. 4.01 ft.
2.2.A(d) Maximum Accessory Building Area = 42 m <sup>2</sup> = 452.08 ft <sup>2</sup>	336.19 ft <sup>2</sup>	336.19 ft <sup>2</sup>
2.2.A(e) Maximum Accessory Building Width = 80% X Lot Width = 0.8 X 39.96 ft. = 31.96 ft.	18.21 ft.	18.21 ft.

**REQUIREMENTS AND RESTRICTIONS FOR "PRINCIPAL BUILDING"**

Permitted (Assuming neighbouring lots have standard setbacks)	Existing	Proposed
<b>3 Conditional Approval Uses</b>		
3.2DW Multiple Conversion Dwelling (MCD)	3 MCD	5 MCD
<b>4 Regulations</b>		
4.1.1 Minimum site area = 306 m <sup>2</sup> = 3,293.76 sq. ft.	3,594 ft <sup>2</sup>	3,594 ft <sup>2</sup>
4.3.1 Maximum height = 10.7 m = 35.10 ft. Maximum number of storeys = 2 storeys plus basement	31.34 ft. 2 + B	31.34 ft. 2 + B
4.4.1 Minimum front yard = adjacent front yard depth = <b>22.09 ft.</b>	21.34 ft.	21.34 ft.
4.5.1 Minimum side yard = lesser of 1.5 m or 10% X Lot width = 4.92 ft. (or 0.10 X 39.95 ft. = <b>4.00 ft.</b> )	5.66'	5.66'
4.5.2 Minimum exterior side yard = 3.7 m = 12.14 ft.	4.01'	4.01'
4.7.1(a)(iii) Maximum total floor area (including basement) = 0.60 X Lot Area + 5.0 m <sup>2</sup> = 0.60 X 3,594 sq. ft. + 53.81 sq. ft. = 2,210.21 sq. ft.	3,168.81 ft <sup>2</sup>	3,709.35 ft <sup>2</sup>
4.7.3(a) Maximum excludable uncovered deck/balcony area = 0.08 X max. total floor area = 0.08 X 2,210.21 sq. ft. = 176.81 sq. ft.	15.00 ft <sup>2</sup>	15.00 ft <sup>2</sup>
4.7.3(b) Excludable roof garden	0.00 ft <sup>2</sup>	312.07 ft <sup>2</sup>
4.7.3(g)(ii) Excludable cover porch area = 0.13 X 2,210.21 ft <sup>2</sup> - 15.00 ft <sup>2</sup> = 272.32 ft <sup>2</sup>	93.23 ft <sup>2</sup>	93.23 ft <sup>2</sup>
4.8.1 Maximum site coverage = 45% X Lot Area = 0.45 X 3,594 sq. ft. = 1,617.30 sq. ft.	1,526.42 ft <sup>2</sup>	1,859.26 ft <sup>2</sup>
4.8.3 Maximum site coverage for parking = 30% X Lot Area = 0.30 X 3,594 sq. ft. = 1,078.20 sq. ft.	336.19 ft <sup>2</sup>	552.78 ft <sup>2</sup>
4.16.2 Maximum building depth = 35% X 89.96 ft. = 31.48 ft.	39.09 ft.	66.65 ft.
4.18.1(b) Maximum number of multiple conversion dwelling units = 74 units per hectare X 3,594 sq. ft. = 74 units / 10,000 m <sup>2</sup> X 3,594 sq. ft. = 74 units / 107,639.10 sq. ft. X 3,594 sq. Ft. = 2.5 units	3 units	5 units
<b>PARKING BYLAW 6059</b>		
6.2.1.2 Off-street Bicycle Parking Spaces (Class A)	0	10



**SITE PLAN**  
SCALE 1/8" = 1'-0"

**DRAWING LIST:**

A0	SURVEY PLAN	A8	EXISTING EAST & WEST ELEVATIONS AND EXISTING ROOF PLAN
A1	SITE PLAN/PROJECT DATA/ZONING ANALYSIS/DRAWING LIST	A9	PROPOSED EXISTING FLOOR PLANS
A2	CONTEXT PLAN	A10	PROPOSED EXISTING FLOOR PLAN OVERLAYS
A3	STREETSCAPES & DESIGN RATIONALES-1	A11	PROPOSED EXISTING SOUTH ELEV. & NORTH ELEV./REFLECTIVE ELEV.
A4	STREETSCAPES & DESIGN RATIONALES-2	A12	PROPOSED EXISTING EAST&WEST ELEV./EAST COLOR REDERING ELEV.
A5	3 UNITS MCD CITY RECORD PERMIT DRAWINGS	A13	PROPOSED EXISTING ROOF PLAN/LANDSCAPE/TREE PROTECTION PLAN
A6	EXISTING FLOOR PLANS	A14	SECTIONS
A7	EXISTING SOUTH & NORTH ELEVATIONS		

XYZ CAD SERVICES LTD.  
FLOOR PLAN MEASURING & DRAFTING SERVICES  
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**RETENTION APPLICATION**

2043 Collingwood Street  
Vancouver, BC

Sheet Description

Revisions No.	Date
▲ Preliminary	Sep 28th '17
▲ Review	Nov 1st '18
▲ Review	Feb 11th '19
▲ Review	Mar 19th '19
▲ Review	May 12th '19
▲ Issued for Review	Jun 25th '19

Drawn by: XYZ Checked by: P.Z.  
Submittal Date: Sep 28th, 2017  
Scale: 1/8" = 1'-0"  
Project No.: 172601