

WEST 35TH AVENUE

FIXTURE RESTRICTION PUMPING REQUIREMENTS

1964 W 35TH AVENUE, Vancouver, BC V6M 1H7

Datum In: Geodetic City Feet Meters	Fixture Type (e.g. shower, toilet, sink, patio drain, stairwell drain, etc.)	Rim Elevation ¹ (B)	Fixture Restriction Elevation (see "Sewer Information") (C)	Pumping Requirements ² (if B is less than C circle "Yes" otherwise circle "NO") (D)
	Floor Drain with the lowest rim elevation in the building	Floor Drain ²	76.86 M 252.165'	Yes (No)
	Sanitary Fixture (excluding floor drains) with the lowest rim elevation in the building	SHOWER	As above	Yes (No)
	Storm Fixture with the lowest rim elevation outside the building	DRAIN TILE	As above	Yes (No)

- Notes:
- The rim elevation is the elevation which a fixture will start to overflow onto the floor / ground (e.g. rim of shower stall, top of bathtub, rim of toilet bowl, top of sink, top edge of floor drain, etc.).
 - Building floor drains must connect to the sanitary system.
 - Pump all fixtures with rim elevations below the restricted elevation. All other fixtures that can flow by gravity to the public sewer connection must flow by gravity and not be pumped.

THIS PLANS ARE IN COMPLIANCE WITH V.B.B.L. 2014

THE GENERAL CONTRACTOR SHALL REVIEW THE DOCUMENTS FOR CONFORMANCE CODES AND BY-LAWS AND SHALL ADVISE THE DESIGNER OF ANY DISCREPANCY HE MAY NOTE. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.

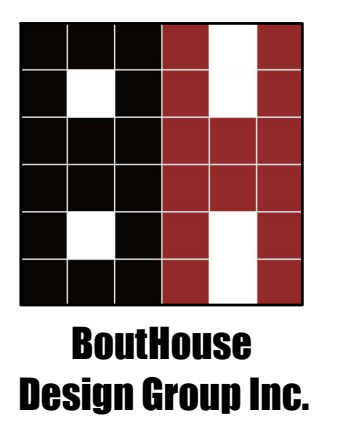
DO NOT SCALE THE DRAWING.

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No.	Revisions	Date

ISSUED FOR DP



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Project Name

1964
W 35TH AVE.
VANCOUVER B.C.

Sheet Name

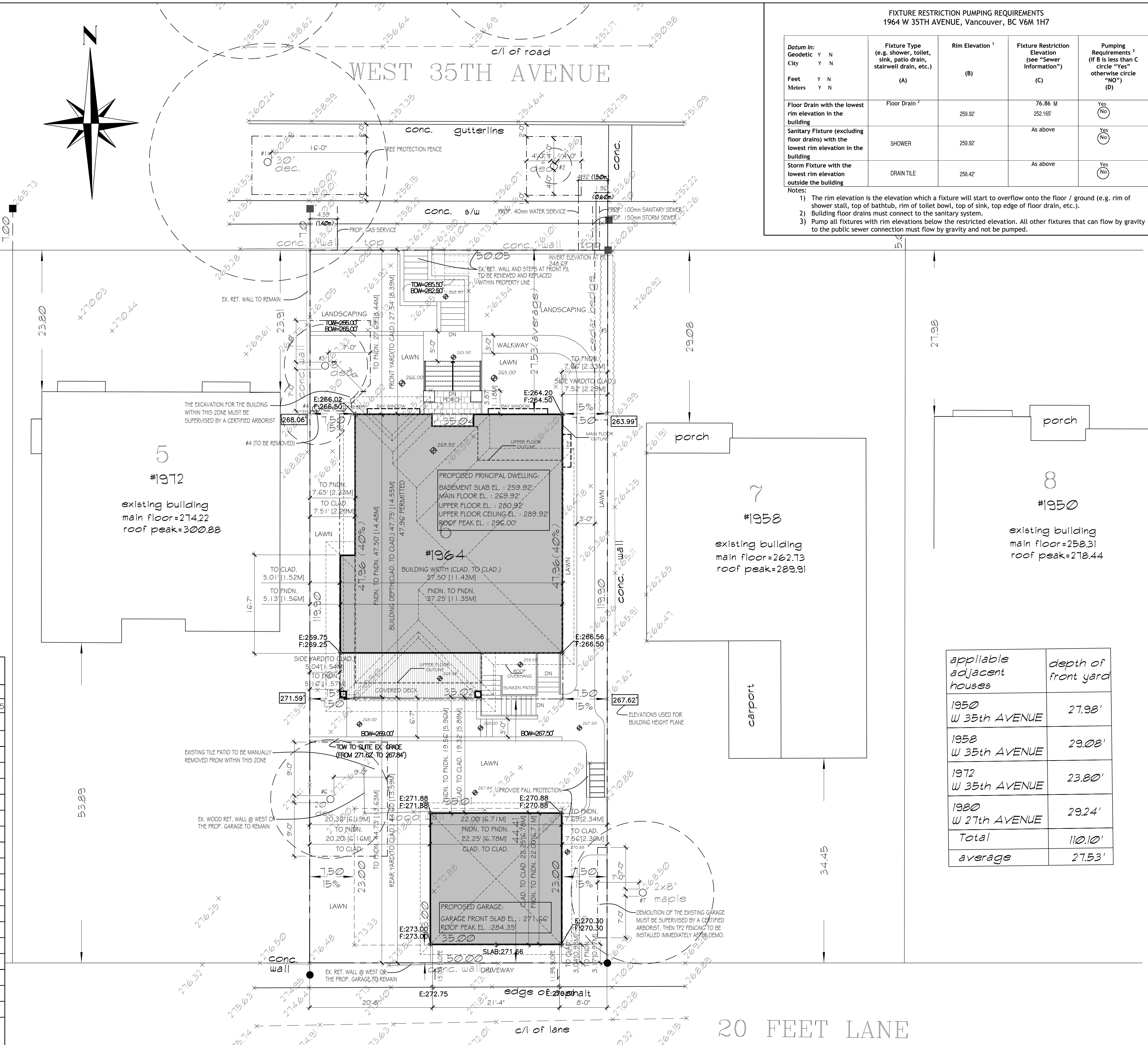
SITE PLAN

Date JUL. 22, 2019
Drawn by HARVEY DU

A1

Scale 1/8" = 1'-0"

PROJECT STATISTICS			
CIVIC ADDRESS: 1964 WEST 35TH AVE. VANCOUVER, B.C.			
LEGAL DESCRIPTION: LOT 6 OF LOT 3, BLOCK 21 D.L. 526 GROUP I N.W.D. PLAN 2975			
LOT ZONING: RS-5		LOT AREA: 5998 S.F.	
ZONING REQUIREMENTS	PROPOSED	PERMITTED/REQUIRED	
SETBACKS			
FRONT YARD (N)	27.54'	27.53'	MIN
SIDE YARD (W)	5.04'	5.00' (10%)	MIN
SIDE YARD (E)	7.52'	7.50' (15%)	MIN
REAR YARD (S)	44.60'	44.41'	MIN
F.S.R.	4194.50 S.F. (69.93%)	4198.60 S.F.(70%)	
BASEMENT AREA	1358.30 S.F.	1360.08 S.F.	
ABOVE GRADE AREA	2834.11 S.F. (INCL. BAY WINDOW OVERAGE)	2838.52 S.F. (0.24A+1399 S.F.)	
MAIN FLOOR AREA	1438.00 S.F.	-	
UPPER FLOOR AREA	1395.18 S.F.	-	
DETACHED GARAGE AREA	495.06 S.F. (45.99 SQ.M.)	-	
BUILDING DEPTH	47.75'	47.96'	MAX
DECK/BALC. AREA	297.51 S.F. (7.1%)	335.89 S.F. (8%)	
COVERED PORCH	46.28 S.F. (1.1%)	209.93 S.F. (5%)	
TOTAL SITE COVERAGE:	2173.35 S.F. (36.23 %)	2399.20 S.F.(40 %)	
TOTAL IMPERMEABLE MATERIAL COVERAGE :	3243.07 S.F. (54.07 %)	3598.80 S.F.(60 %)	



applicable adjacent houses	depth of front yard
1950 W 35th AVENUE	27.98'
1958 W 35th AVENUE	29.08'
1972 W 35th AVENUE	23.80'
1980 W 27th AVENUE	29.24'
Total	110.10'
average	27.53'

20 FEET LANE