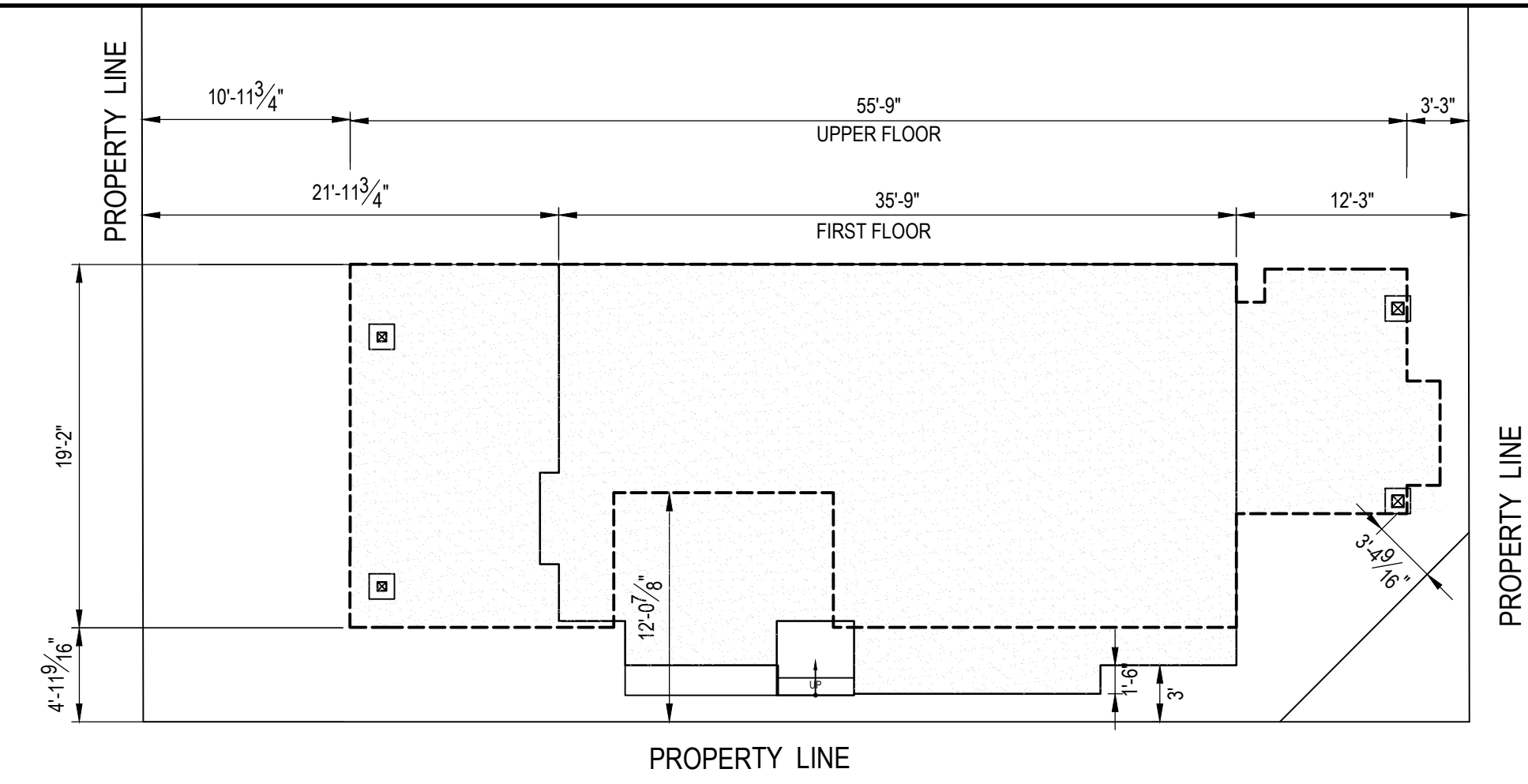
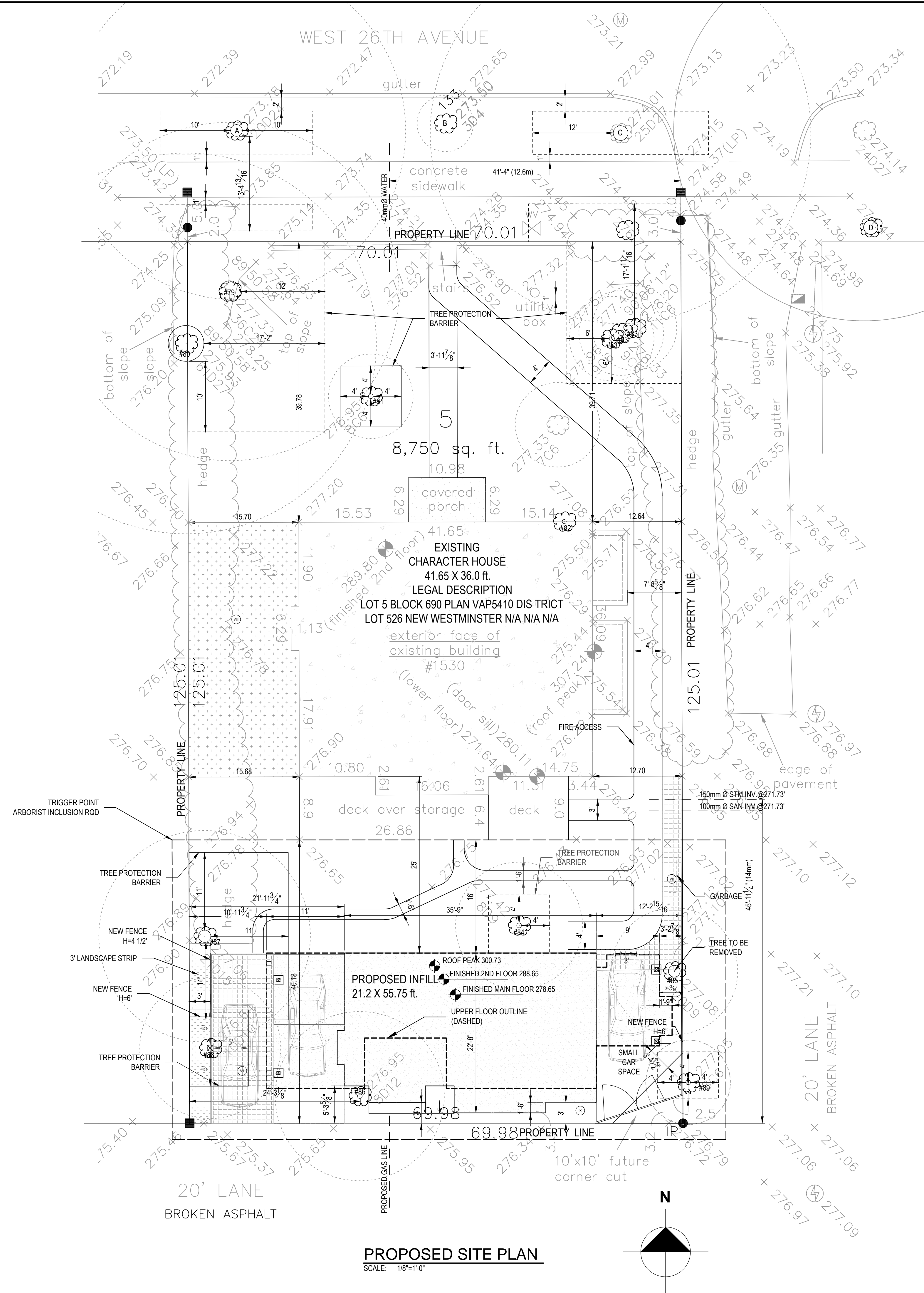


2018/Dec/14, 10:55am Kayla Model C:\Users\kay\waybetter\dropbox\Projects\2018\wb18042_1530 w 26th ave. van4.0 drawings & specs\working Drawings\Architectural\EXISTING SITE PLAN, GARAGE FLOOR PLAN AND ELEVATION.dwg



ZONING ANALYSIS

SITE AREA:	8747 SF		
SITE COVERAGE:	ALLOWABLE	EXIST.	PROPOSED
ALLOWABLE SITE COVERAGE(45%)	3936 SF	1923 SF	3099 SF
GROSS FLOOR AREA:	EXIST.	PROPOSED	
NOTE: AREAS BASED ON EXISTING LOT SIZE.			
CHARACTER HOUSE			
BASEMENT PLAN	1380SF		
LOWER LEVEL PLAN	1500SF		
UPPER LEVEL PLAN	1480SF		
ATTIC	541SF		
TOTAL AREA	4901 SF		
PORCH AREA	85SF		
DECK AREA	308 SF		
INFILL HOUSE			
BASEMENT PLAN	N/A	483 SF	
LOWER LEVEL PLAN	N/A	763 SF	
CARPOT UNDER UPPER LEVEL	N/A	314 SF	
UPPER LEVEL PLAN	N/A	805 SF	
UPPER FLOOR DECK AREA		105 SF	
TOTAL AREA	N/A	2051 SF	
BAY WINDOW EXCLUSION	N/A	20 SF	
THERMAL WALL EXCLUSION	N/A	40 SF (SEE NOTES 1 AND 2)	
TOTAL AREA AFTER EXCLUSION	N/A	1991 SF	
UNCOVERED BALCONY	N/A	150 SF	
COMBINED AREA	4901	6892 SF	
0.85 FSR		7434 SF	
INFILL HOUSE SET BACKS			
FRONT YARD	ALLOWABLE 3'	PROPOSED 3'	
SIDE YARD	ALLOWABLE 3.3'	EAST SIDE 3.4' WEST SIDE 10.97'	
SEPARATION FROM PRINCIPLE TO INFILL	ALLOWABLE 16'	PROPOSED 16'	
HEIGHT			
MAX. INFILL HOUSE HEIGHT	ALLOWABLE 25'-0"	PROPOSED 23.58'	
DORMERS BACK	50%	46% (HALF HEIGHT)	
DORMERS FRONT	75%	63%	
IMPERMEABLE MATERIAL			
EXISTING HOUSE	36X41.65 = 1499.4 SF		
PORCH FRONT	6.29X10.98 = 69 SF		
PORCH BACK	8X26.86 = 214.88 SF		
FAKE GRASS EXISTING WEST SIDE	15X36 = 540 SF		
PARKING WEST	11X15.83 = 174.13 SF		
PARKING EAST	9X20.83 = 187.47 SF		
PATH	600 SF		
INFILL BUILDING	780 SF		
SMALL PATH	1.5X70=105 SF		
TOTAL AREA	4169.88 SF		
ALLOWABLE	5248 SF		

NEW ADDRESSES

EXISTING CHARACTER HOUSE
MAIN HOUSE: 1538 W 26TH AVE., VANCOUVER
BASEMENT SUITE: 1536 W 26TH AVE., VANCOUVER
INFILL HOUSE: 1530 W 26TH AVE., VANCOUVER

- ① ADIANTUM ALEUTICUM
- ② CLEMATIS
- ③ HONEYSUCKLE, LONICERA PERICLYMENUM.
- ④ DWARF FLOWERING CRAB (MALUS X FLORIBUNDA)
- ⑤ MEXICAN MOCK ORANGE (CHOISYA TERNATA OR PHILADELPHUS LEWISII)
- ⑥ CALIFORNIA LILAC SHRUBS CEANOTHUS IMPRESSUS VICTORIA
- ⑦ ECORASTER WITH PLANT IN IT PERMEABLE SURFACE
- ⑧ FAKE GRASS
- ⑨ PLANTING

- NOTES
- THERMAL WALL EXCLUSION IS CALCULATION AS PER SECTION 10.33.1, BY-LAW NO.12015
2% X 2011 = 40 SF
 - PROPOSED WALL INSULATION THICKNESS = 7.25" (184mm).

Consultant

Waybetter

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Client

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1	2018/12/12	ADDRESS CITY'S COMMENTS	SLQ
#	Date (yyyy/mm/dd)	Revision Description	Appr.
A	2018/10/10	ISSUED FOR DP	SLQ
ID	Date (yyyy/mm/dd)	Issue Description	Appr.

Seal

Project Info
INFILL HOUSE DESIGN

Address
1530 W 26TH AVE., VANCOUVER, BC

Sheet Info
PROPOSED SITE PLAN

Job No.	WB18042	Drawn by	DRAFTER
Scale	AS SHOWN	Checked by	CHECKER

Drawing Identification

A06

Sheet 6 of 12 Rev 1