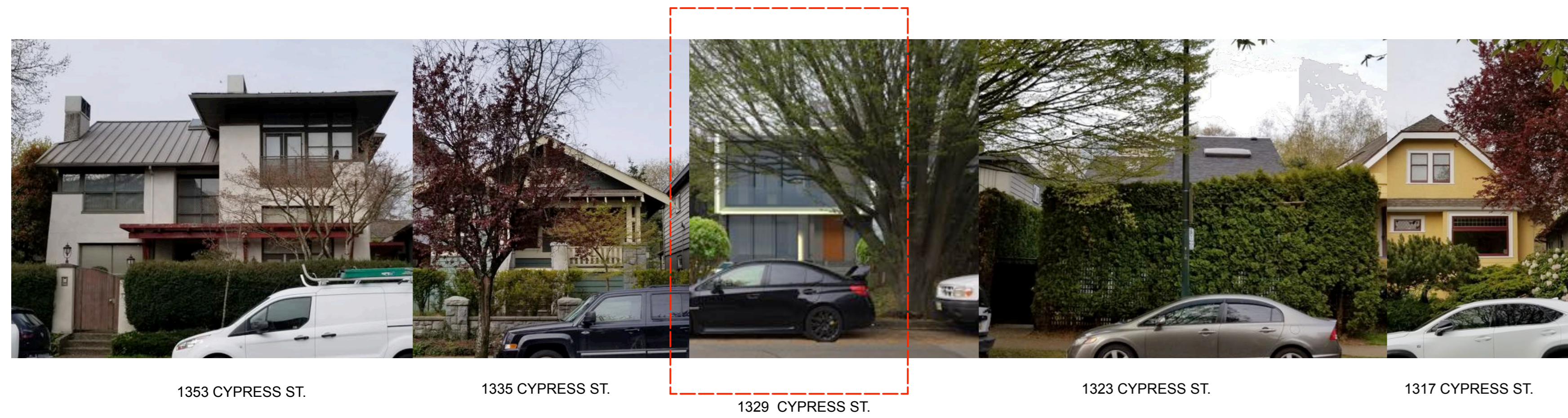
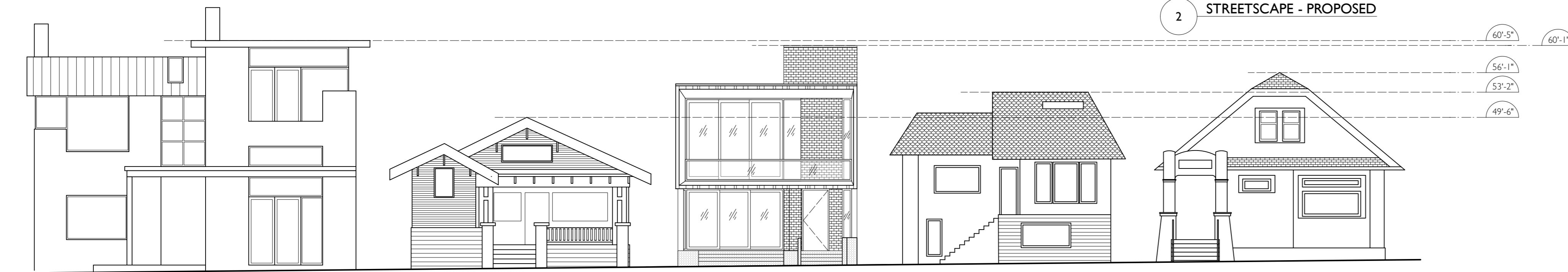




1 STREETScape - EXISTING



2 STREETScape - PROPOSED



3 STREETScape DRAWN - PROPOSED

CONTEXT ANALYSIS

The design of the new house at 1329 Cypress Street is contemporary and designed to fit in with the scale, massing and landscape of the existing neighbourhood.

The massing of the house is broken down into separate elements to reduce the overall scale of the composition. The main roof of the building is well below the maximum permitted height; only the stair volume rises to near the allowable and so the sense of height as experienced from the street is relatively modest. Many of the older houses in the area and some of the new ones are considerably taller.

The neutral grey palette of the building finishes is common in the area and will complement the surrounding buildings and landscape. The most publicly visible materials are of high quality and include polished concrete masonry units of the stair volume that anchors a floating upper volume clad with a rhythmic pattern of vertical glass fibre reinforced panels.

The landscaping has been carefully designed to minimize changes to existing grades on three sides of the house. The grade rises very gradually from the sidewalk towards the front door. The ground floor has been kept relatively low to maintain the connection from between the interior and garden at this level.

The front and side landscaping have been designed to protect the health of the large tree at the street. Permeability is maximized and planting relates the garden to the surrounding context while providing some privacy to the main level at the front of the house. The contemporary design relates to the existing house and extends elements of the house composition into the yard.

A simple and functional approach has been applied at the rear that maximizes daylight to the house as well as the neighbours. The short, 100' long site, does not easily accommodate a garage that does not consume much of the rear yard and block off the back of the house from daylight and views. Given this situation, we have chosen to provide the parking below the house to be accessed from a sloped driveway from the lane. This approach is used by the building across the lane and at numerous locations throughout the Kits Point neighbourhood. We have tapered the driveway to minimize the effect of the cut into the landscape and maximize the amount of plants and permeable area.

10 JULY 2019 ISSUED FOR DEV. PERMIT

No. Date Issue / Revision

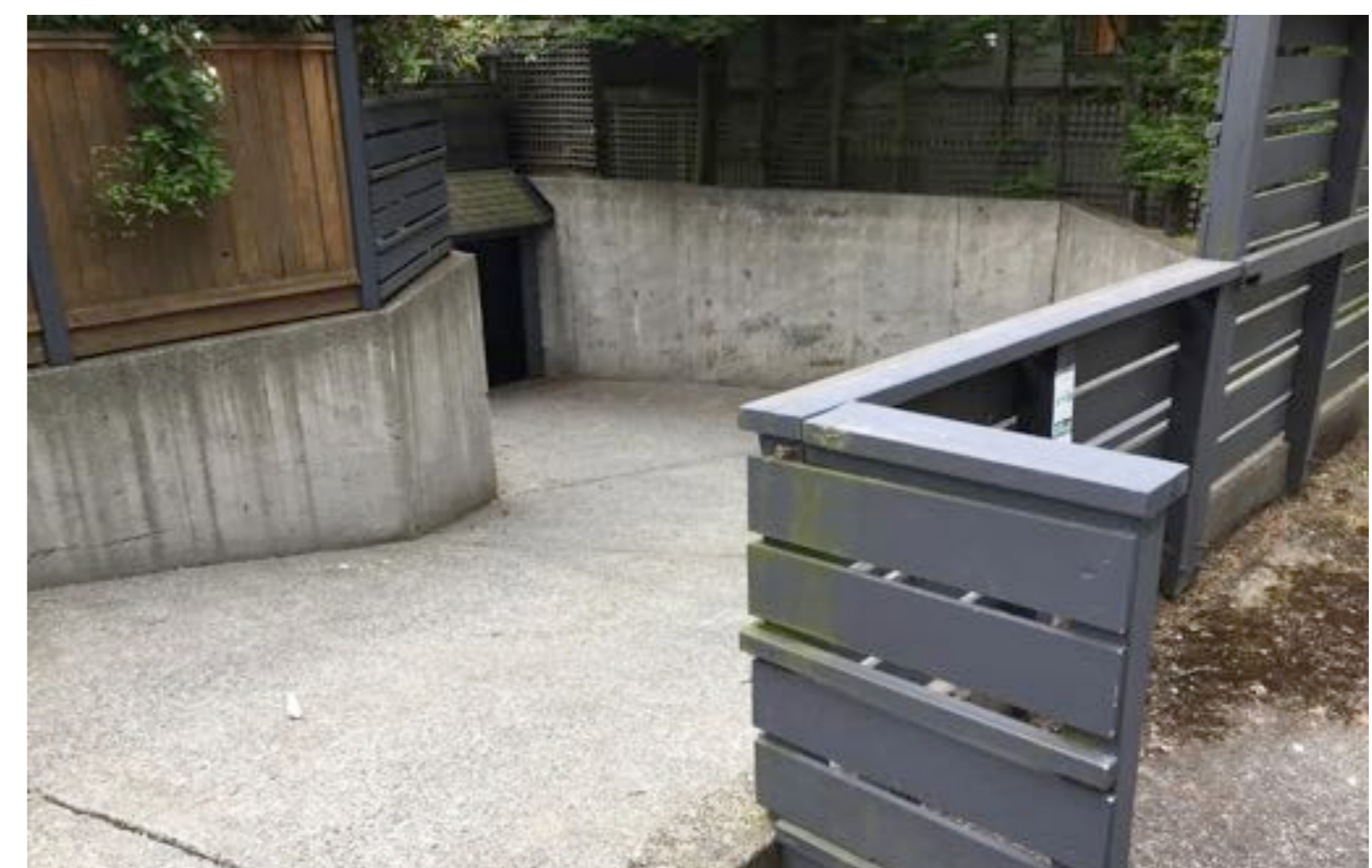
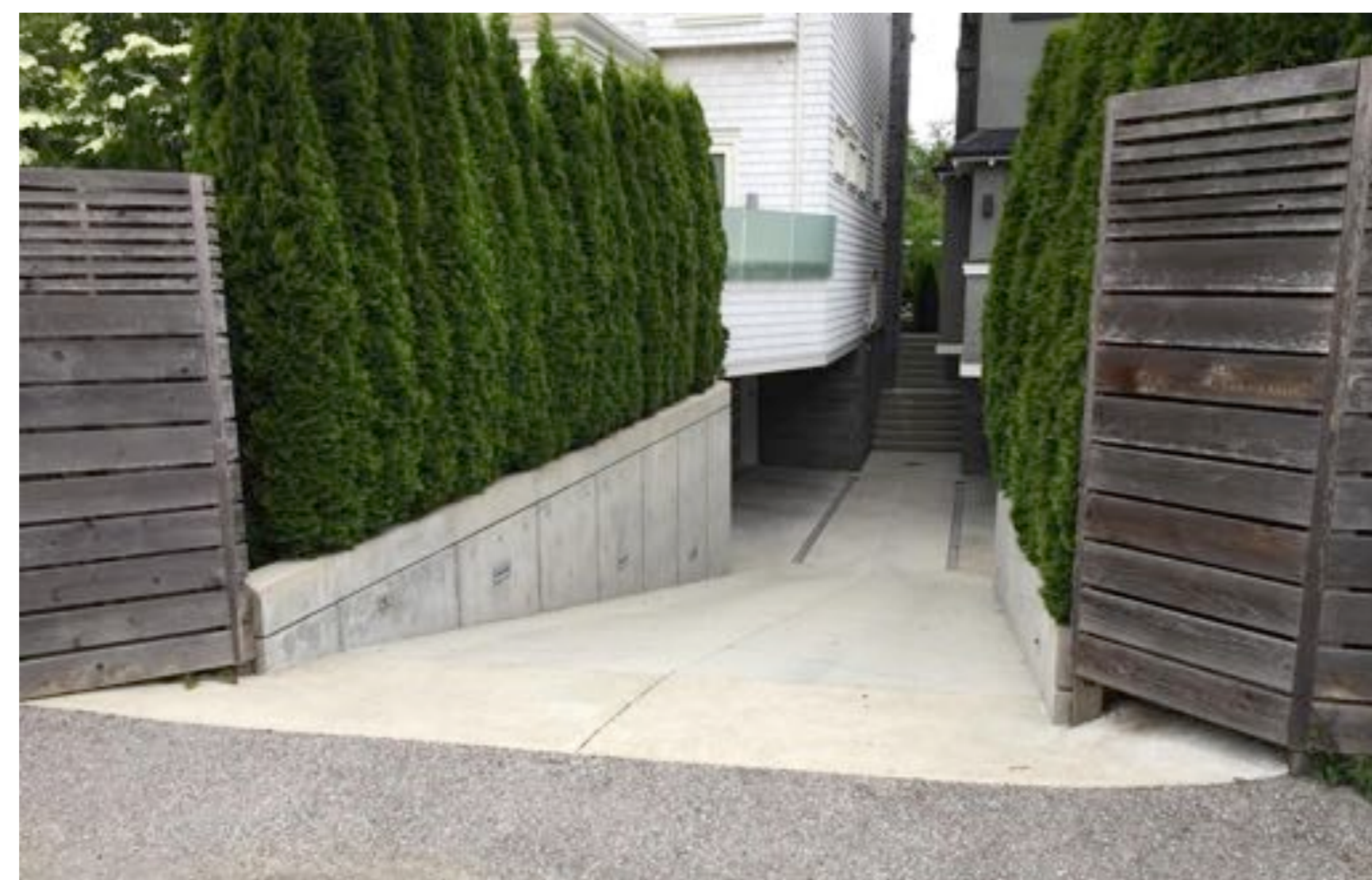
PROJECT

Genovese Residence

1329 Cypress Street,  
 Vancouver, BC

DRAWING

Streetscape Analysis



EXAMPLES OF SLOPING DRIVEWAY TOWARDS THE BACK LANE IN KITS POINT AREA

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DRAWN PP REVIEWED A.A.L.

SCALE NTS DATE JUN 2019

PROJECT NO. 17705