

# WEST 53rd AVENUE PROPERTY LINE 287.54'

# CARRINGTON STREET PROPERTY LINE 334.81'

# PROPERTY LINE 330.07'

# PROPERTY LINE 369.11'

### LEGEND

- NOTE: ALL ELEVATIONS ARE GIVEN IN FEET
- FINISHED GRADE
  - EXISTING GRADE
  - EG BUILDING GRADE
  - PROPERTY LINE
  - SETBACK LINE
  - CARBON MONOXIDE/SMOKE ALARM
  - T.O.C. TOP OF CONCRETE
  - T.O.W. TOP OF WALL
  - FINISHED FLOOR ELEVATION
  - FLOOR DRAIN
  - EXHAUST FAN
  - SAFETY GLASS
  - EXISTING FOOT PRINT
  - TREE EXISTING - CONIFER
  - TREE EXISTING - DECIDUOUS
  - TREE - REMOVED
  - HARD SURFACE (REF. TO TAG)
  - PERMEABLE SURFACE (REF. TO TAG)

### WALL LEGEND

- WALL TO REMAIN
- WALL TO BE DEMOLISHED
- NEW WALL INT. / EXT.
- LINE INDICATES ORIGINAL WALL / ROOF TO BE RETAINED - SEE ENGINEERING DWGS
- LINE INDICATES NEW CONSTRUCTION

### PROJECT DATA

**CIVIC ADDRESS**  
6926 CARRINGTON ST., VANCOUVER, BC

**LEGAL DESCRIPTION:**  
LOT 1, BLOCK 7, DISTRICT LOT 194, GROUP 1, NWD, PLAN 2242  
PID: 013-985-345

**SITE INFORMATION:**  
AREA: 2.49 ACRES (108 299 SQ. FT.)  
ZONING: RA-1

### TECHNICAL DATA

Regulation	PERMITTED (SQ FT)	EXISTING (SQ FT)	PROPOSED (SQ FT)
<b>F.S.R. (TOTAL)</b>	8998.6	9309.9	8710.6
DWELLING (MAIN)	4499.3	3356.1	4184.7
DWELLING (SECOND)	4499.3	2968.5	3789.7
COVERED AREA (MAIN)		2985.4	736.2
<b>SUBTOTAL MAIN</b>	<b>4499.3</b>	<b>6341.4</b>	<b>4920.9</b>
CABANA / POOL HOUSE	0.0	0.0	302.6
<b>SUBTOTAL ACCESSORY BLDG</b>	<b>0</b>	<b>0</b>	<b>302.6</b>
<b>SITE COVERAGE</b>			
DWELLING (8% TOTAL)	8663.92	9309.9	8710.6
RIDING RING (12%)	12995.88	6659.9	6659.9
<b>ALL OTHER USES: (12%)</b>	<b>12995.88</b>	<b>3957.2</b>	<b>5476.1</b>
STABLE (EXISTING)		3254.1	3254.1
NEW TRACTOR GARAGE		0.0	510.2
FEED AND MANURE		199.7	391.3
GUEST HOUSE		503.4	503.4
NEW GARAGE 1	516	0.0	505.0
NEW GARAGE 2	516	0.0	312.0
<b>AGGREGATE MATERIAL SITE COVERAGE</b>	<b>32489.7</b>	<b>32933.5</b>	<b>31754.3</b>
<b>HEIGHT</b>			
OUTRIGHT / CONDITIONAL	30'2 3/8" (9.2M) / 35'1 1/4" (10.7M)	20'3.5" (6.2M)	32'6" (9.9M)
<b>SETBACKS</b>			
FRONT	23.95' (7.3M)	39.84' (9.75M)	39.84' (9.75M)
WEST SIDE YARD	14.76' (4.5M)	30.45 FT. (9.28M)	24 FT. (7.32M)
EAST SIDE YARD	14.76' (4.5M)	191.58 FT. (58.39M)	15 FT. (4.57M)
REAR	14.76' (4.5M)		
<b>ACCESSORY BUILDING AREA</b>	<b>32489.7 SQ. FT.</b>	<b>1164.03 SQ. FT.</b>	<b>4224.59 SQ. FT.</b>
<b>ACCESSORY BUILDING HEIGHT</b>	<b>30'2 1/8" (9.2M)</b>	<b>N/A</b>	<b>26'5" (8.07M)</b>

**BC ONE 2016 - 460012**

BUILDING TO BE SPRINKLERED TO NFPA 13D

### SCOPE OF WORK DWELLING (PER RENOVATION >50K)

- RAISE THE SECOND FLOOR (JOISTS AND WALLS) TO ACHIEVE A 10'-0" CLEAR INTERIOR SPACE. NOTE THE EXISTING INTERIOR CEILING HEIGHTS VARY - AS LOW AS 8'-0" TO 10'-2" IN THE LIVINGROOM.
- AT THE MAIN FLOOR WE INTEND TO RETAIN THE EXISTING 2X4 STUDS AND SHEATHING BUT SISTER IN NEW 12'-0" 2X6 STUDS TO GET A UNIFORM CEILING HEIGHT ON THE MAIN FLOOR OF 10'-0". WE ALSO INTEND TO POUR A NEW INSULATED CONCRETE OVER THE EXISTING SLAB AND POUR UP PAST THE ORIGINAL WOOD STUDS TO PROVIDE SOME AN ADDITIONAL 18" OF FLOOD-PROOFING. WE HAVE PROVIDED A DETAIL OF HOW THIS WOULD BE UNDERTAKEN.
- THE INTERIOR LAYOUT AT BOTH FLOORS IS TO BE COMPLETELY RE-CONFIGURED WHILE RE-USING THE CENTRAL BEAR POINTS THAT RUN EAST - WEST BETWEEN GRIDS 3/4.
- PLANS CLEARLY INDICATE THE EXTENT OF ADDED VERSES RETAINED.
- NEW GABLE ROOF W/ BALANCED EXPRESSION.
- NEW OUTBOARD INSULATION AND CLADDING - STONE, VERTICAL WOOD BATTEN.
- NEW SWIMMING POOL AND CABANA AT REAR.
- NEW GARAGES FOR DWELLING.
- NEW ACCESSORY BUILDINGS FOR AGRICULTURAL USE - NEW TRACTOR AND MANURE SHED.

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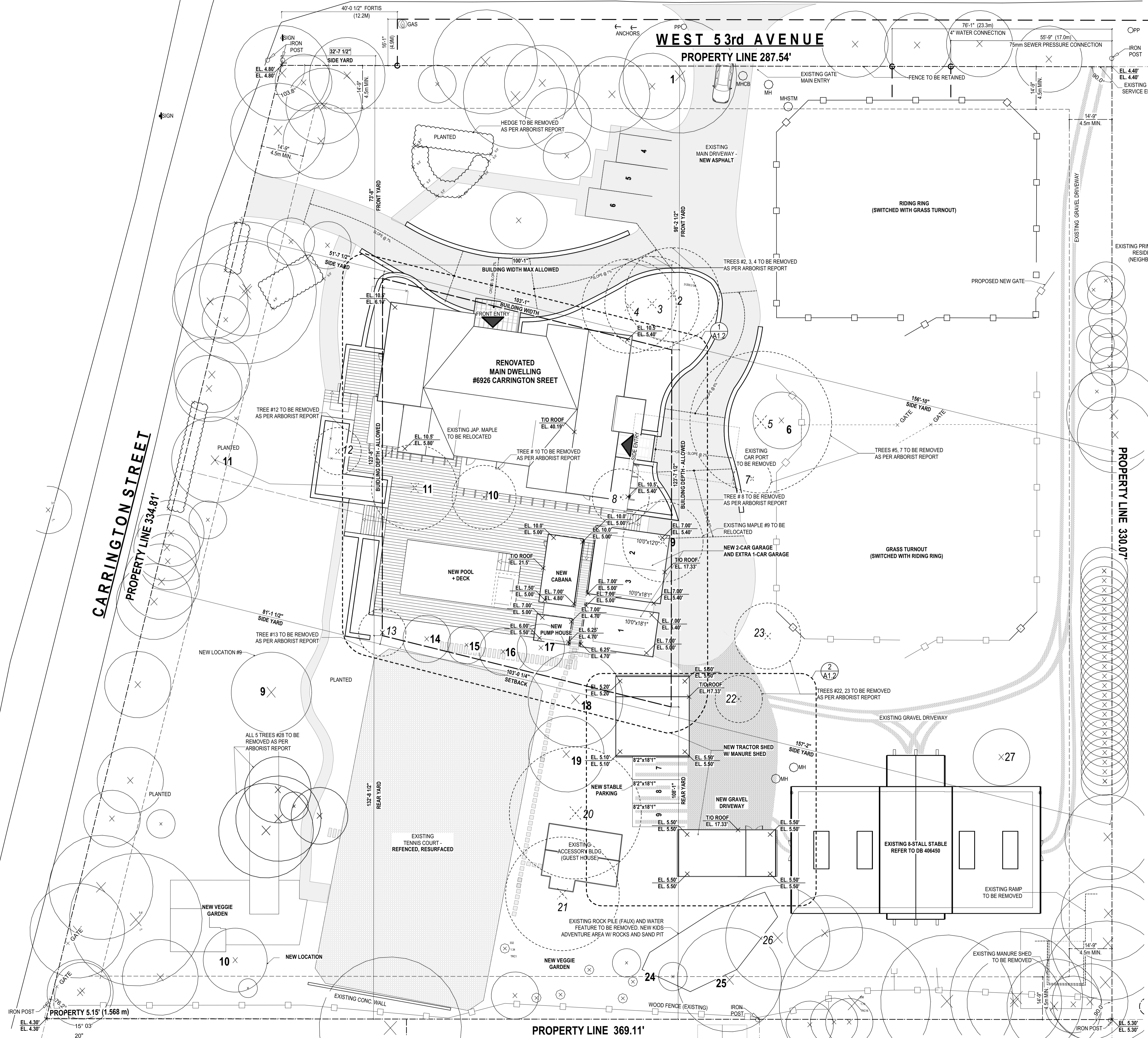
### PRIVATE RESIDENCE

6926 CARRINGTON STREET  
VANCOUVER, BC

scale	date
as shown	16.07.25
project code	STATUS
15005	SD
drawn	checked
as	bb

### SITE PLAN - OVERVIEW

drawing number 15005  
revision #  
**A1.0**



2 SITE PLAN  
1/16" = 1'0"

1 PROJECT DATA  
N/A