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DPA 06/07

Description Date  
 Architect:

**ESZTER CSUTKAI ARCHITECT**

#803-1030 Burnaby Street  
 Vancouver, B.C., V6E 1N8  
 604 730 8000

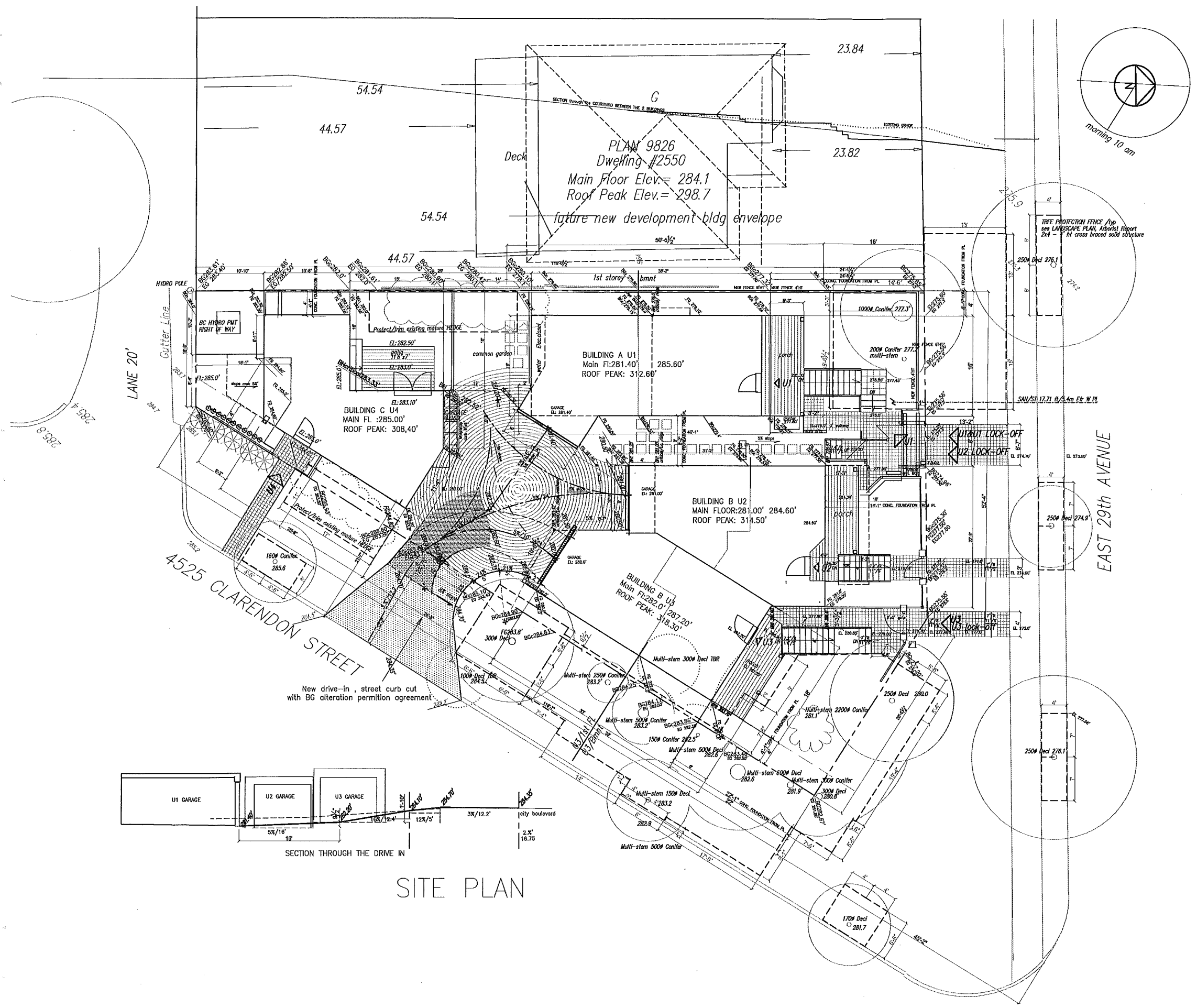
Consultant:

Project:  
 CLARENDON CORNER  
 NEW SMALL HOUSES  
 DEVELOPMENT

Project Address:  
 4525 CLARENDON ST.  
 VANCOUVER, B.C.

Drawing Title:  
**SITE PLAN**

Date	Job No.
may/17	
Scale	Sheet
1/4"=1'-0"	<b>A02</b>
Drawn	
Check/Rev.	



DATA:  
 CIVIC ADDRESS: 4525 Clarendon Street, VANCOUVER  
 LEGAL DESCRIPTION: PROPOSED LOT H BLOCK 1 AND 3 OF BLOCKS 10 TO 13 DISTRICT LOT 82 GROUP 1 WVD PLAN 9826

SITE: 6069.3 sf

PROPOSAL: 4 NEW RESIDENTIAL STRATA UNITS: A DUPLEX, including a SECONDARY SUITE, A LOCK-OFF U and 2 SINGLE FAMILY HOUSES, ONE WITH A LOCK-OFF UNIT  
 BMNT + 2.5 LEVEL WOOD FRAME STRUCTURE  
 4 PARKING: 3 SINGLE GARAGES and a CARPORT

ZONING: RT-11  
 PROPOSED FSR: 0.85

ALLOWABLE GFA: .85 x 6069.30 SF = 5158.90 sf

	U1	U2	U3	U4
BASEMENT	317.76	283.32	257.50	
FIRST FLOOR	337.20	310.00	350.50	
SECOND FLOOR	610.60	504.64	502.68	472.70
THIRD FLOOR	202.56	244.11	305.50	486.28

PROPOSED COUNTABLE GFA:  
 1488.12 SF 1342.07 SF 1389.40 SF 958.88 SF ; TOTAL: 5158.97 SF

PROPOSED FSR: 0.85

LOCK-OFF UNITS ARE INCLUDED ABOVE:  
 270.60 SF 240.70 SF 223.65 SF **734.95**

GARAGES: 238.00 SF 224.00 SF 248.00 SF

ALLOWABLE BALCONY/deck: 85x5158 = 412.70 SF with PORCHES: 133x5158 SF = 670.67 SF

PROPOSED:  
 BALCONIES: 47.00 SF 73.00 45.00 SF = 165.00 SF  
 PORCHES: 155.20SF 154.63 SF 128.84 = 438.71 SF

TOTAL: **603.71 SF < 670.67 SF**

BAY WINDOWS: ALLOWABLE DEDUCTION: (1X) BUILDING A; BUILDING B; BUILDING C  
 PROPOSED: 11.50 SF=11.50 21.00 SF<21.90 8.64 SF<95.90

SITE COVERAGE - ALLOWABLE: 45% x 6069 sf = 2732.00 sf  
 - PROPOSED: 38.26% 2323.55 sf

IMPERMEABLE SITE COVERAGE: ALLOWABLE: 70% x 6069.03sf=4248.50 sf  
 PROPOSED: 61.49% 3731.00 sf

see calculation sheet CI SO-ISC

OTHER REGULATIONS:

ALLOWABLE/REQ	PROPOSED
FY: FRONTAGE: 60FT	16.00 ft min 16.00 ft
SY/Interior	4.00 ft 4.00 ft
SY/Ranking street	4.00 ft 4.00 ft
Rear Yard:	5 ft 5.2 ft
building depth 40%	46.40 ft 42.00 ft
Height:	35.1 ft/front bldg 35.10 ft
	25.3 ft/rear bldg 25.10 ft

PARKING: REQUIRED / PROPOSED: 1 P/U: 4P  
 in 3 SINGLE CAR GARAGES + 1 SMALL STALL CARPORT

BIKE stalls: REQUIRED: 0, PROVIDED: BIKE RACK IN INDIVIDUAL GARAGES and under stairs

BUILDING CODE: The project shall conform to VBBL 2014 and the latest amendments.  
 See Building Code Analysis

REQUIRED RELAXATION: BUILDING GRADE DEVIATION ALONG DRIVE-IN PROPERTY LINE

SITE PLAN